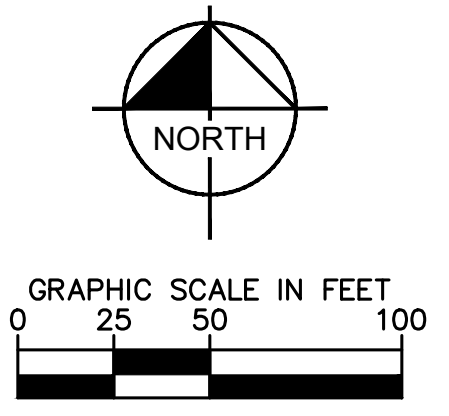


ZONING MAP
PETERS TOWNSHIP
SCALE: N.T.S.



HATCH LEGEND

[Hatched Pattern]	PROPOSED BUILDING	[Dotted Pattern]	PROPOSED CONCRETE
[Horizontal Line Pattern]	PROPOSED PEDESTRIAN BRIDGE		

- GENERAL NOTES**
- THIS MAP REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY BY WIND RIDGE ENGINEERING COMPANY.
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE SURVEY.
 - THE SURVEY DOES NOT CERTIFY AS TO THE PRESENCE OR ABSENCE OF UNDERGROUND IMPROVEMENTS.
 - THE SURVEY DOES NOT CERTIFY AS TO THE PRESENCE OR ABSENCE OF WETLANDS OR WATERS.
 - PARCEL SHOWN HEREON IS LOCATED IN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN PER FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), BEING PANEL 213 OF 731, MAP NUMBER 42125C0213E, MAP EFFECTIVE DATE SEPTEMBER 30, 2015.
 - ELEVATIONS, DIMENSIONS AND THE LOCATIONS OF LINEAR FEATURES SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
 - ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTORS RISK.
 - ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND LOCAL CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND LOCAL LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY 'PENNSYLVANIA ONE CALL' @ 1-800-242-1776 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - PETERS TOWNSHIP SHALL BE MADE AWARE OF AND BE ALLOWED TO COMMENT ON ANY FUTURE SAFETY CONDITIONS FOR THE SITE.
 - REFER TO EROSION AND SEDIMENT CONTROL DETAILS ON SHEET C-550 AND SHEET C-551 FOR DETAILED DESCRIPTIONS OF SOIL CONTAMINANTS, GROUNDWATER CONTAMINANTS, ENGINEERING CONTROLS, WORKER SAFETY REQUIREMENTS, AND LAND USE RESTRICTIONS.

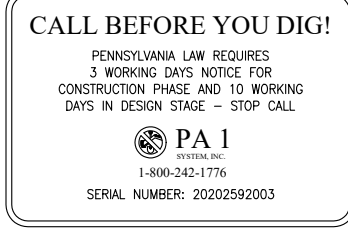
- SITE NOTES**
- ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND LOCAL CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND LOCAL LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL CURB RADI GIVEN TO THE FACE OF CURB.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES'. ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY 'PENNSYLVANIA ONE CALL' @ 1-800-242-1776 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
 - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER PENNDOT AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 - CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.
 - CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING STORMWATER STRUCTURES. CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING CONDITIONS DO NOT MATCH INFORMATION ON PLANS.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - ALL WORK IN THE RIGHT-OF-WAY REQUIRES A HIGHWAY OCCUPANCY PERMIT FROM PENNDOT. CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SEE SHEETS C-150 - C-151 FOR SITE DETAILS.

PARKING REQUIREMENTS

REQUIRED: 300
PROPOSED: 304

GENERAL PLAN STATISTICS

PROJECT ADDRESS:	455 E. MCMURRAY ROAD PETERS TOWNSHIP COMMONWEALTH OF PENNSYLVANIA
PARCEL ID:	540-007-00-0004-00
OWNER/SUBDIVISION/ GRANTOR:	PETERS TOWNSHIP 610 E. MCMURRAY ROAD MCMURRAY, PA 15317
APPLICANT/ EQUITABLE OWNER:	KIMMEL BOGRETTE ARCHITECTURE 482 NORRISTOWN ROAD, SUITE 200 BLUE BELL, PA 19422
SITE AREA:	189.46 ACRES (8,252,878 SQ. FT.)
REFERENCE:	ALT/NSPS LAND TITLE SURVEY PREPARED BY WIND RIDGE ENGINEERING COMPANY



Kimley-Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
50 SOUTH 16TH ST, TWO LIBERTY PLACE, SUITE 3010
PHILADELPHIA, PA 19102
PHONE: 267-687-0150
WWW.KIMLEY-HORN.COM

PA 1
PROFESSIONAL ENGINEER
PATRICK HUGHES
#079231

KHA PROJECT
112180002
DATE
02/05/2021
SCALE AS SHOWN
DESIGNED BY PWH
DRAWN BY ABH
CHECKED BY PWH

SITE PLAN

**ROLLING HILLS
AQUATIC CENTER**
PREPARED FOR
PETERS TOWNSHIP

SHEET NUMBER
C-100

Plotted By: Kromer, Kim - Sheet Set: Rolling Hills Aquatic Center - 112180002 - February 05, 2021 11:05:34am K:\PHI\PRJ\112180002 - rolling hills aquatic center, peters township, washington co., pa\CAD\plan sheets\C-100 SITE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

MH
8.58
1.78